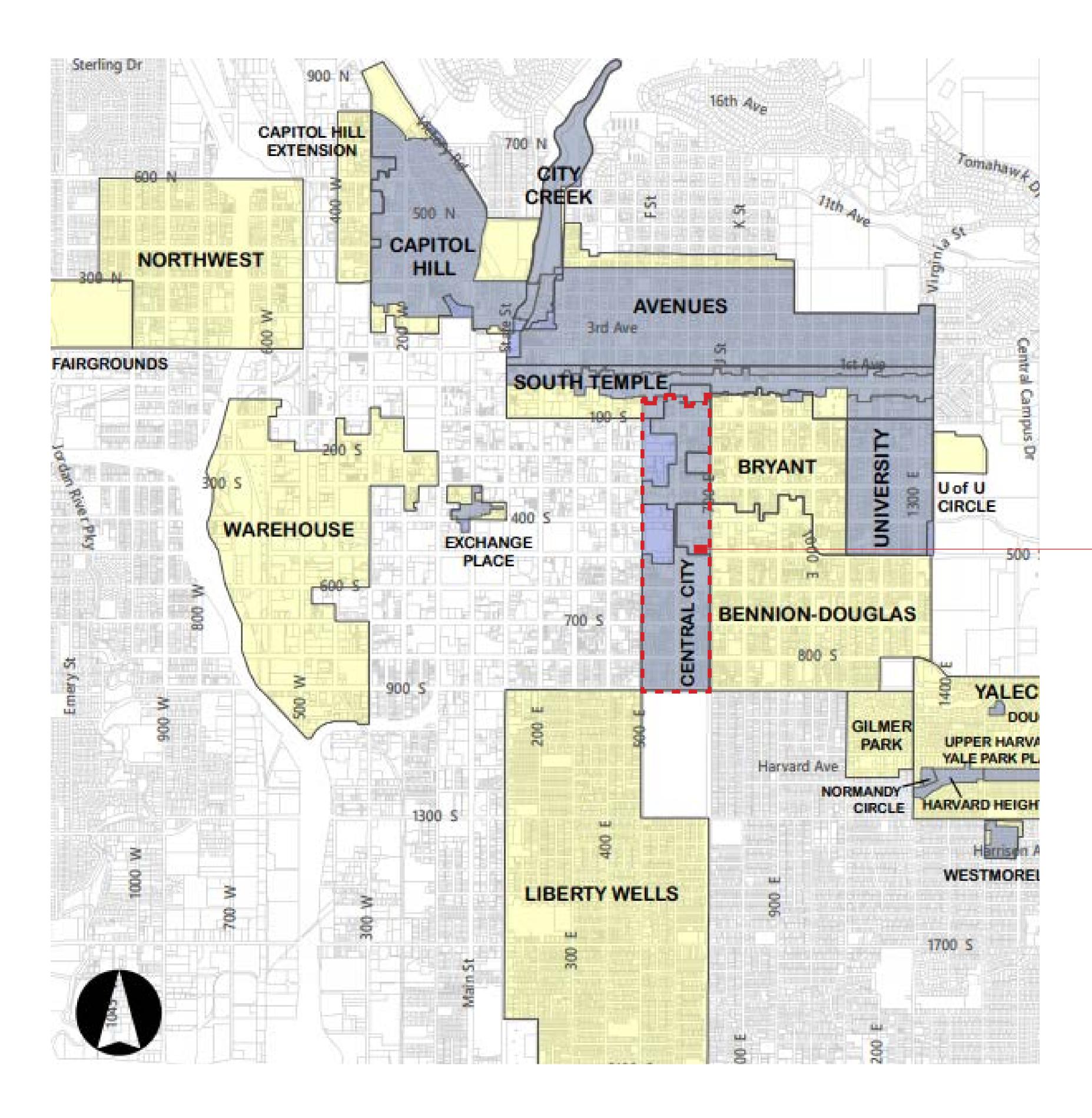






### HISTORIC DISTRICTS





#### PROJECT SITE



#### SITE CONTEXT



1 SLC CITY & COUNTY BUILDING



2 SLC LIBRARY



3 AVIA APARTMENTS



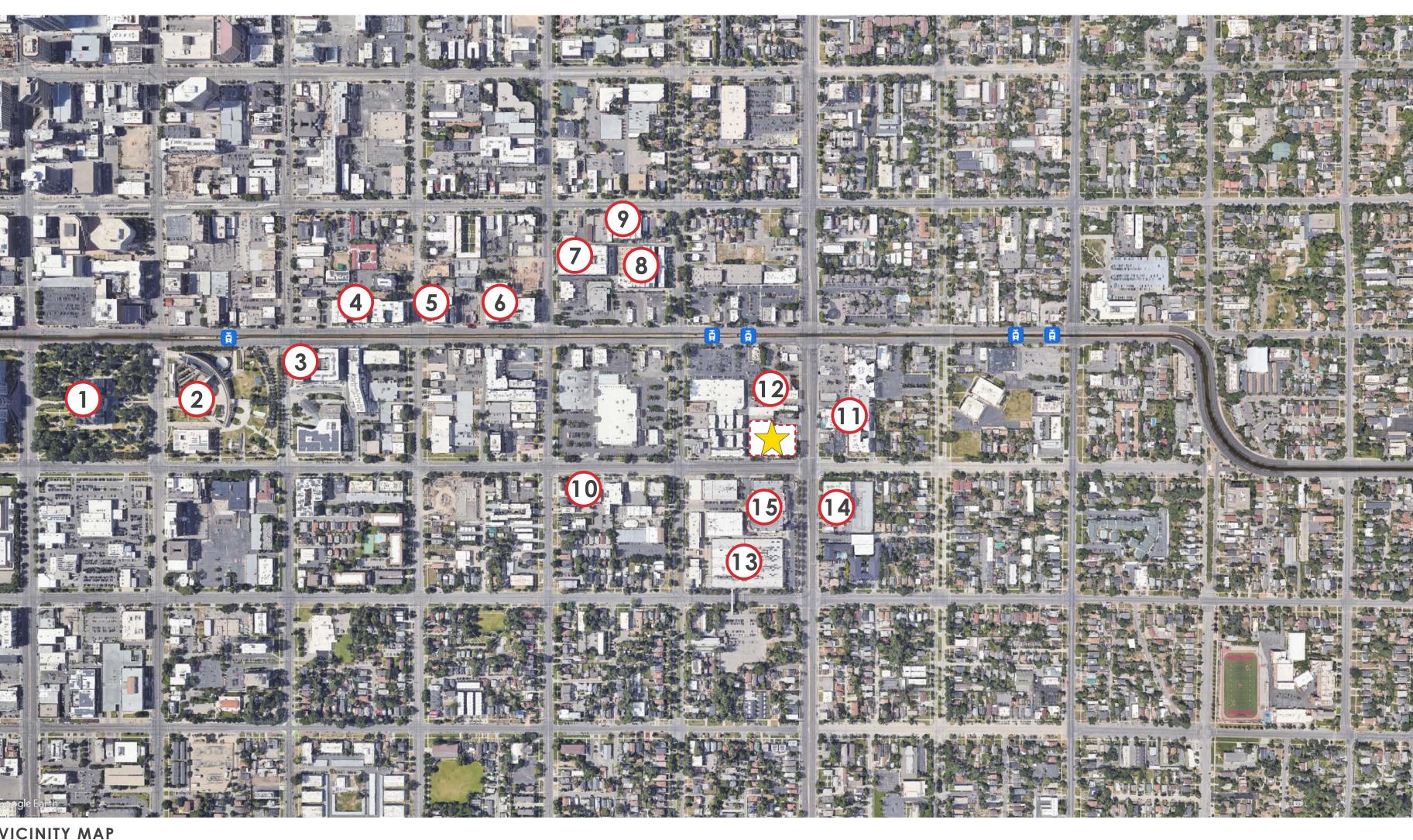
6 ENCORE APARTMENTS



7 ELEVATE ON 5TH APARTMENTS



8 THE ESSEX APARTMENTS



VICINITY MAP



9 THE MERCER APARTMENTS



10 MODA NEWHOUSE APARTMENTS





#### **4** BLOCK 44 APARTMENTS







SITE AREA



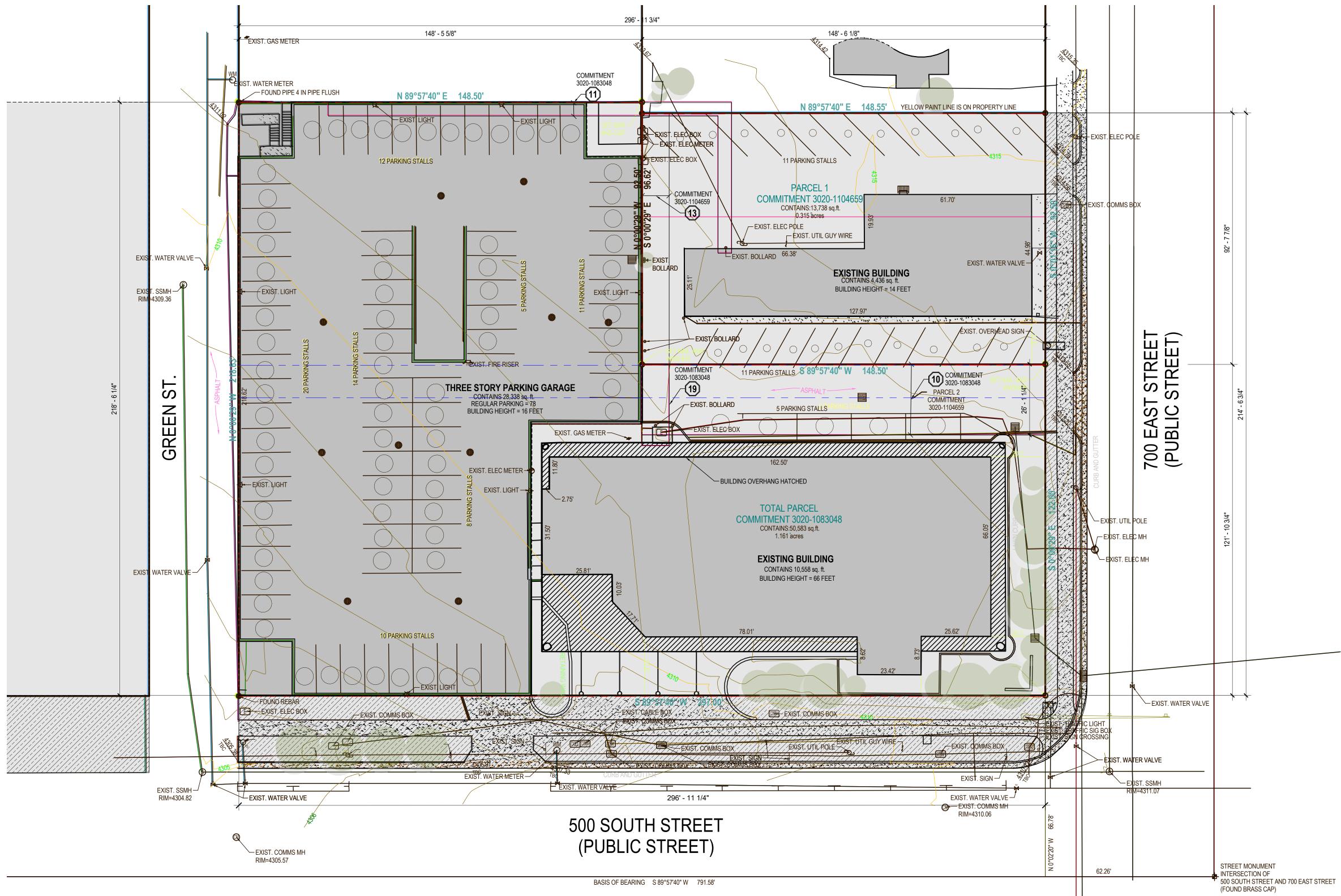








## EXISTING SITE PLAN







# **ZONING SUMMARY**

#### • ZONE URBAN NEIGHBORHOOD TRANSIT STATION/HISTORIC (TSA-UN-C)

#### MINIMUM LOT AREA

- 195 TOTAL UNITS
- REQUIRED SITE AREA: N/A
- PROVIDED SITE AREA: 1.48 ACRES (64,469 SF)
- MAX LOT COVERAGE: N/A

#### • HEIGHT AND SETBACK:

- FRONT SETBACK: EQUAL TO AVERAGE SETBACK OF PRINCIPAL BUILDINGS - REAR SETBACK:0 FT
- SIDE SETBACK: EQUAL TO AVERAGE SETBACK OF PRINCIPAL BUILDINGS
- MAX SETBACK: AT LEAST 50% OF THE STREET FACING BUILDING FACADE SHALL BE WITHIN 5' OF THE FRONT OR CORNER SIDE PROPERTY LINE.
- PARKING SETBACK: 8 FT
- MAX HEIGHT: 75 FT + BONUS LEVEL WITH DEVELOPMENT SCORE 85' MAX

#### • PARKING (NEW ORDINANCE):

- NOT REQUIRED 330 PROVIDED
- BIKE PARKING:
  - REQ. RESIDENTIAL1 PER 2 UNITS = 98 BIKE PARKING
  - REQ. COMMERCIAL: 1 PER 2,000 SF = 2 BIKE PARKING
  - PROVIDED: 100 BIKE PARKING TOTAL
- EV PARKING: 1 PER 25 SPACES, 14 REQUIRED, 14 SPACES PROVIDED
- ACCESSIBLE STALLS: 1 PER 50, 8 PROVIDED
- VAN STALLS: 1 PER 6, 3 PROVIDED
- COMPACT: NOT ALLOWED

#### • AGGREGATE STREET LEVEL USE SHALL NOT EXCEED 50% OF FLOOR LEVEL

#### • GARAGE PARKING MUST BE SCREENED

• STALL SIZE: 8'-6" x 17'-6" @ 24'-1" AISLES COMPACT: NOT ALLOWED

#### • LOADING REQUIRED:

- 1 SMALL PER 200 UNITS (10' x 35')

#### • LOADING PROVIDED:

- ONE SMALL 10' x 35'



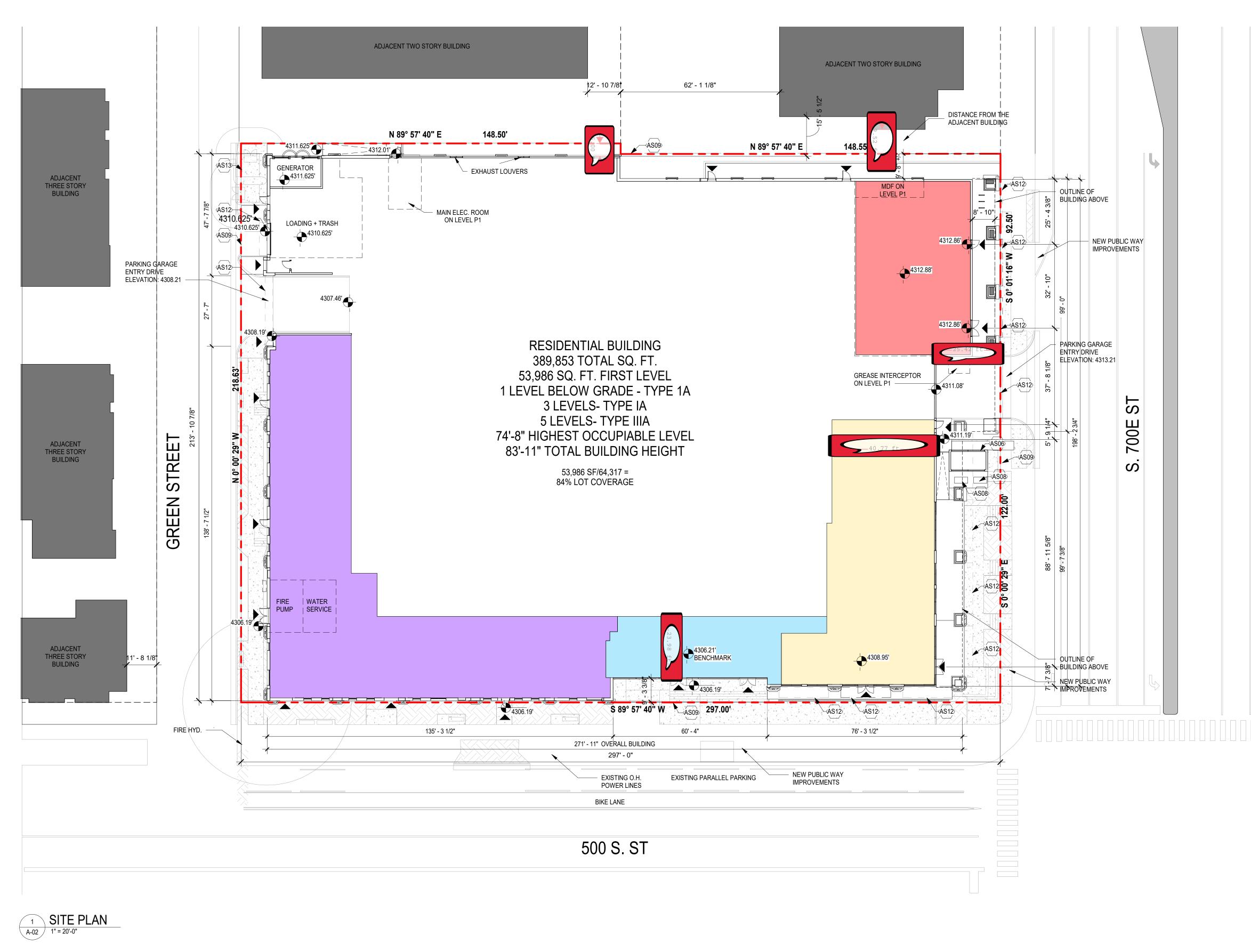
#### **Base Zoning Ordinance Standards**

STANDARDS	PROPOSED	COMPLIES (Y/N)
Minimum Lot Area: 2,500 SF	Minimum Lot Area: 53,986 SF	Y
Maximum Lot Area: NA	Maximum Lot Area: NA	NA
Minimum Lot Width: 40'	Minimum Lot Width: 297'	Y
Maximum Building Coverage of all Principal and Accessory Structures: NA	Maximum Building Coverage of all Principal and Accessory Structures: NA	NA
Front Yard Setback: EQUAL TO ADJACENT BUILDING	Front Yard Setback: EQUAL TO ADJACENT BUILDING	Y
Rear Yard Setback: 0'	Rear Yard Setback: 1' MIN.	Y
Interior Side Yard Setback: NA	Interior Side Yard Setback: NA	NA
Maximum Building Height: 75' + BONUS	Maximum Building Height: 81' - 9"	Y
Maximum Wall Height: 3' MAX	Maximum Wall Height: 3' MAX	Y
Required Landscaped Yards: 5000 SF MAX CORE AREA	Required Landscaped Yards: 3,720 SF	Y
Landscaped Buffer: NOT REQUIRED	Landscaped Buffer: NOT REQUIRED	NA

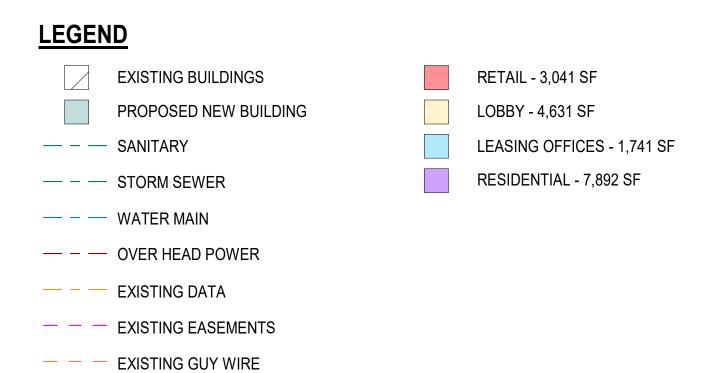
	NEW ORDINANCE							
P	arking - TSA-UN-C District (21A.44.							
	Minimum and Maximum Count							
	Minimum	Dranaad						
Residential	Required No Spaces Required	Proposed 314 Stalls						
Non-Residential		16 Stalls						
	No Spaces Required							
Total	Meximum	330 Stalls						
	Maximum Required	Branasad						
Residential:	Required	Proposed 314 Stalls						
2 stalls per Studio & 1 Bed Units	54 Stalle @ 27 Unite	514 Stalls						
•	<u> </u>							
3 stalls per 2+ Bed units Non-Residential:	504 @ 168 Units 16 Stalls							
		16 Stalls						
Indoor area: 5 Stalls per 1,000 SF Outdoor Area: 4 Stalls per 1,000 SF	15 Stalls							
	1 Stall	220 04-11-						
Fotal	574 Stalls	330 Stalls						
	Dimensions (21A.44.020)							
Typical Stall	8'-6" Wide x 17'-6" Deep							
Accessible Stall	8'-0" Wide x 18'-0" Deep with 5' Aisle							
/an Accessible Stall	8'-0" Wide x 18'-0" Deep with 8' Aisle							
Drive Aisle Width	24'-1" Wide							
	Accessible Stalls (21A.44.040-E							
	Required	Proposed						
104 F00 Descrided - 1 and F0 Decision Otalia		tandard (322 Stalls)						
101-500 Provided - 1 per 50 Parking Stalls	7 Stalls	7 Stalls						
Van Accessible: 1 per 6 Accessible Stalls	2 Stalls	2 Stalls (Included in total Accessible Stall Count)						
104 F00 Drewided 1 rear F0 Deriving Stalls		tric Vehicle (42 Stalls)						
101-500 Provided - 1 per 50 Parking Stalls	1 Stalls	1 Stalls						
Van Accessible: 1 per 6 Accessible Stalls	1 Stalls	1 Stalls (Included in total Accessible Stall Count)						
Fotal	9 Accessible Stalls	8 Accessible Stalls						
Electrical Vehical Stalls (21A.44.020.B.2)								
	Required	Proposed						
Multi-family only: 1 stall per 25 parking stalls	4%	14 Stalls						
Future Ready EV Stalls		28 Infrastructure-Ready Stalls						
Total	14 Stalls	42 Stalls						
	Bicycle Parking (21A.44.040.C)							
	Required	Proposed						
Residential: 1 per 2 units	98 Parking	98 Parking						
<sup>r</sup> Each 1 bicycle parking in a secure/enclosed space will satisfy the eq. of 2 bicycle parking								
Commercial: 1 per 2,000 SF	2 Parking	2 Parking						
Total	100 Parking	100 Parking						
	Loading Berths (21A.44.080)							
	Required (14' clear)	Proposed						
Multi-family:		· · · · · · · · · · · · · · · · · · ·						
30-200 Units	1 Short (10'x35')	1 Short (10'x35')						
Greater than 200 Units	1 Short (10'x35')	N/A						
Retail/Commercial:								
50,000 - 100,000 SF	1 Short (10'x35')	0 (Below 25,000 SF)						
Total	· · · · ·							
IUtal	1 Short (10'x35')	1 Short (10'x35')						



## SITE PLAN







SITE PLAN KEYNOTES BENCHMARK: 4306' - 2.5", REF, CIVIL. AS02 AS03 PROPOSED GAS METER LOCATION EXISTING FIRE HYDRANT AS04 AS06 INTAKE LOUVER FOR LEVEL P1 PARKING GARAGE VENTILATION AS07 PROPOSED NEW TREE; REF. LANDSCAPE AS08 PROPOSED CONDENSING UNIT AS09 PROPERTY LINE AS10 PROPOSED SITE LIGHTING; REF. LANDSCAPE AS11 BIKE RACKS AS12 CANOPY AS13 EQUIPMENT SCREENING

#### PARKING (NEW ORDINANCE):

- NOT REQUIRED 330 PROVIDED
- BIKE PARKING:

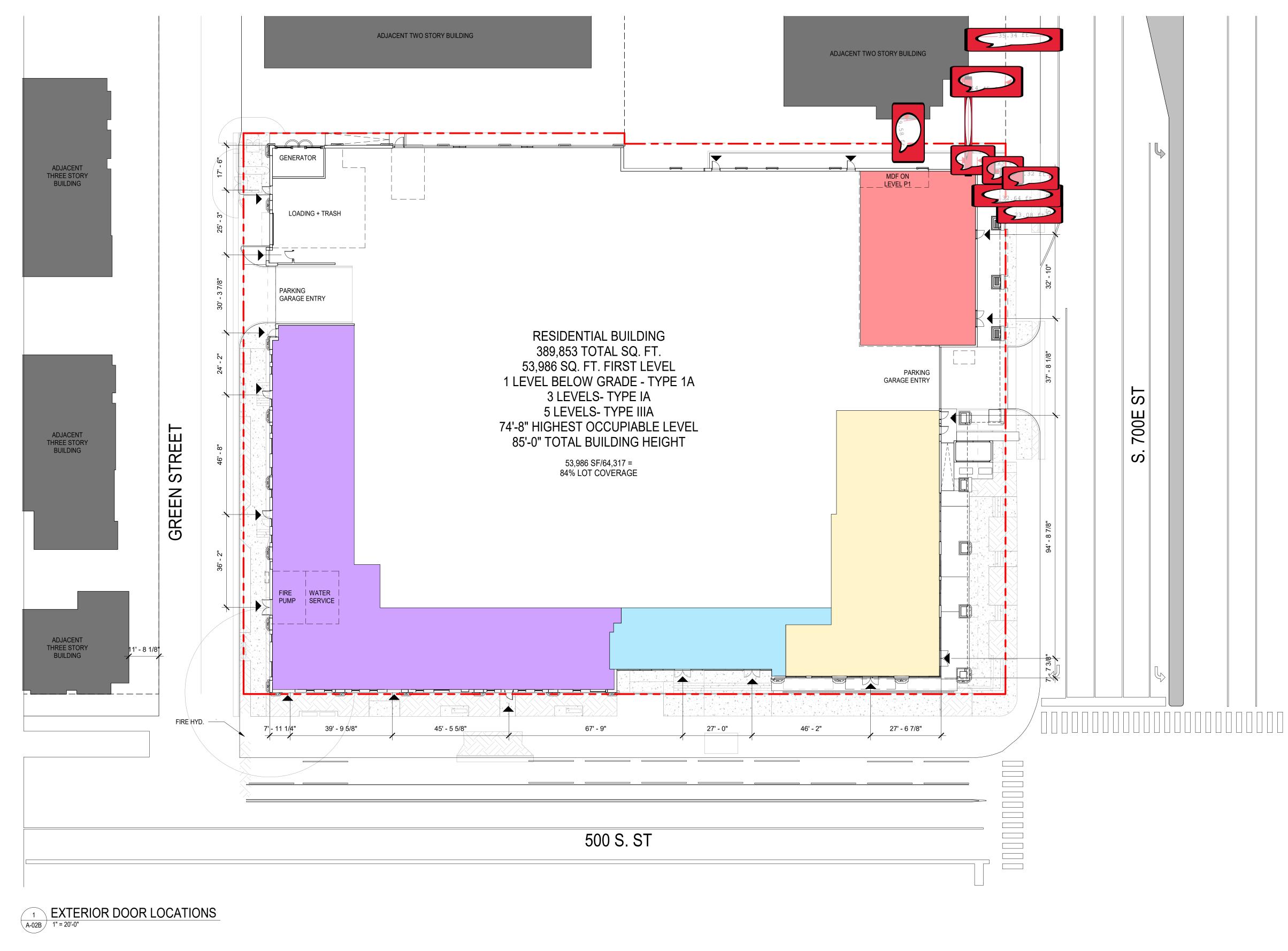
PUBLIC ENTRY

- REQ. RESIDENTIAL1 PER 2 UNITS = 98 BIKE PARKING
- REQ. COMMERCIAL: 1 PER 2,000 SF = 2 BIKE PARKING
- PROVIDED: 100 BIKE PARKING TOTAL
- EV PARKING: 1 PER 25 SPACES, 14 REQUIRED, 14 SPACES PROVIDED
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  - COMPACT: NOT ALLOWED
- LOADING REQUIRED:
- 1 SMALL PER 200 UNITS (10' x 35')

#### • LOADING PROVIDED:

- ONE SMALL 10' x 35'

## EXTERIOR DOOR LOCATIONS

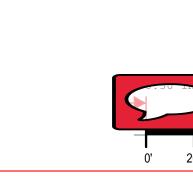


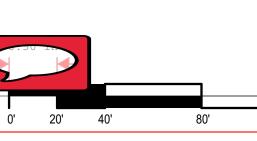












120'

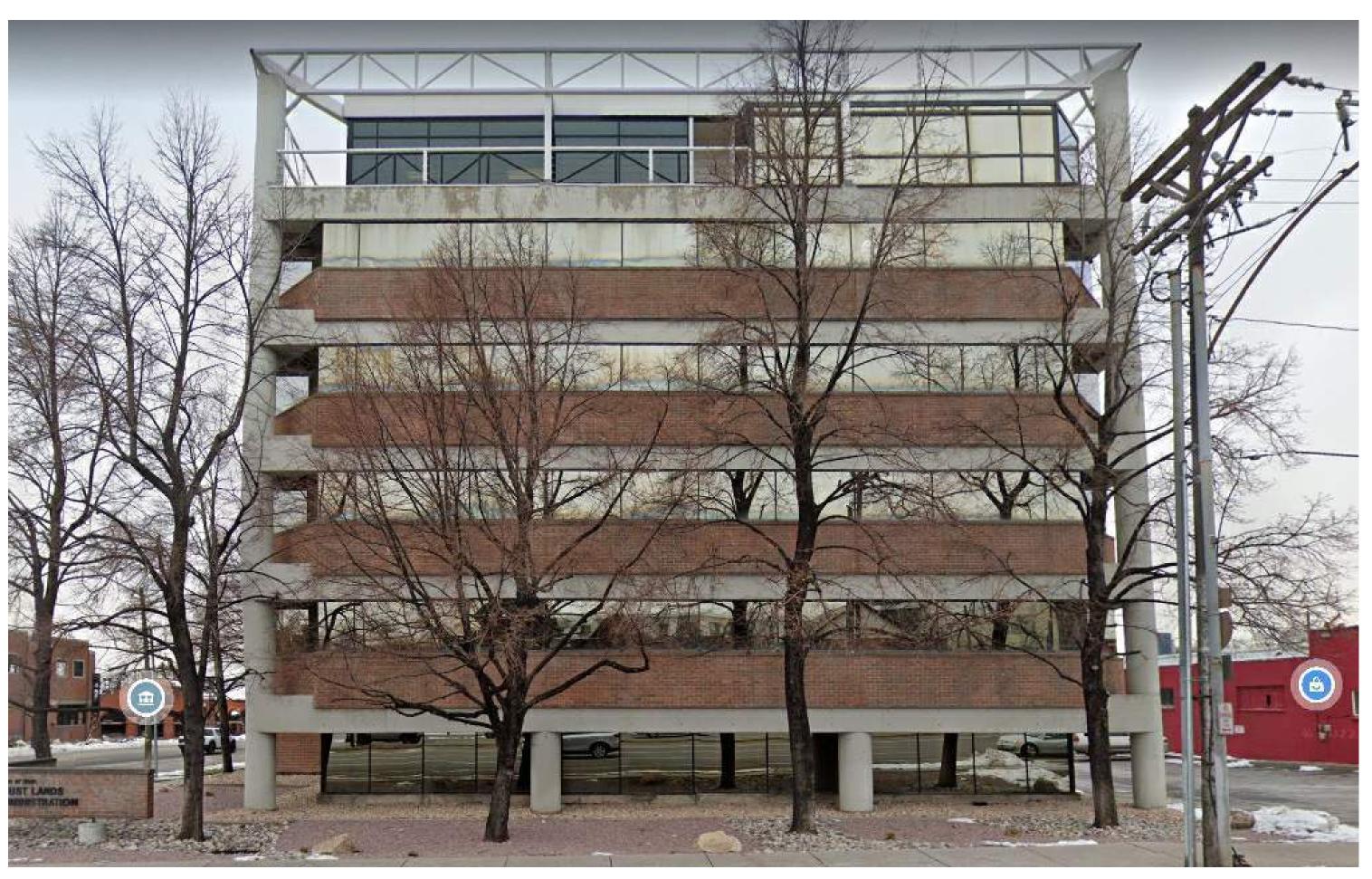


## EXISTING BUILDING





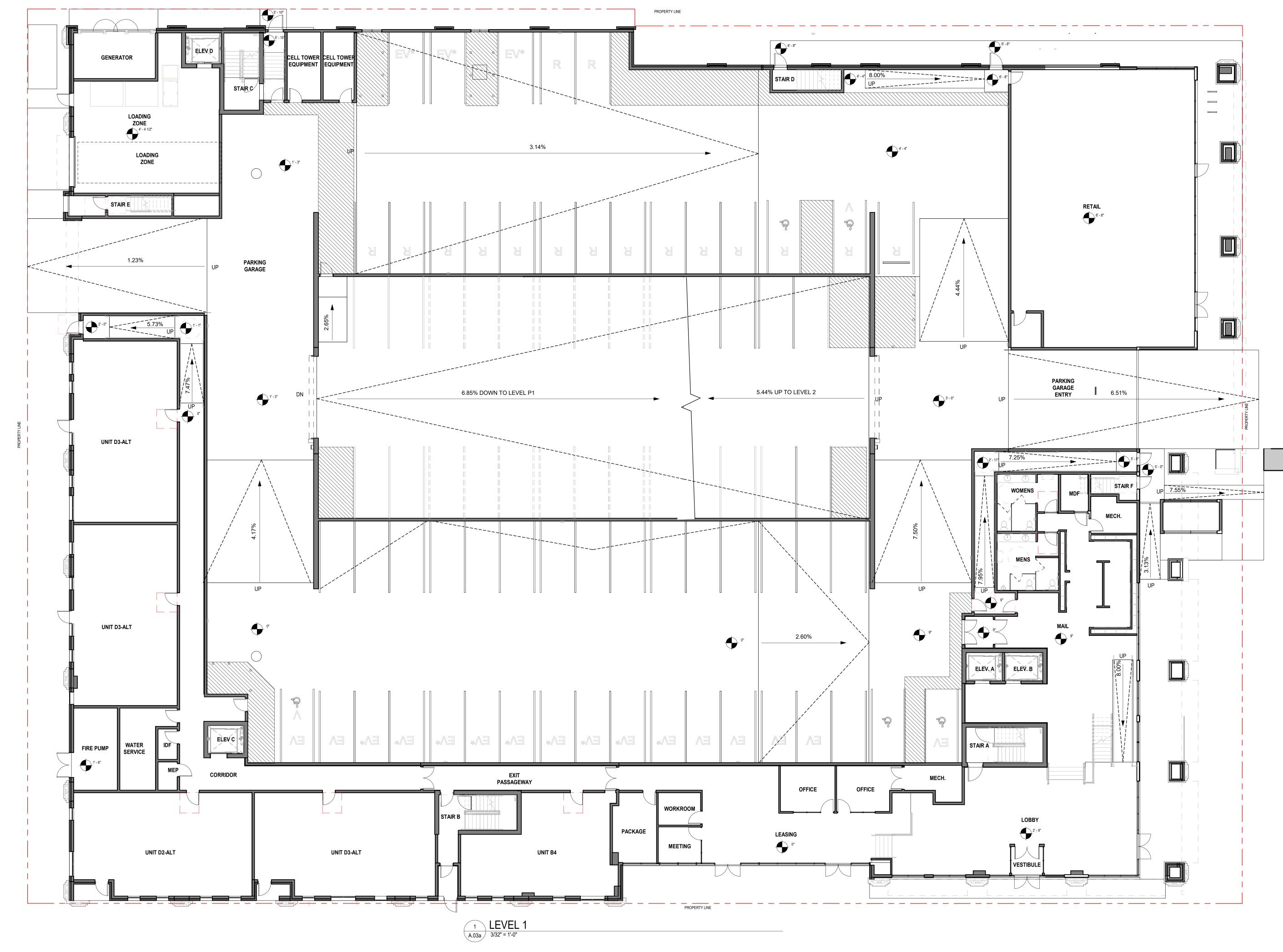




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03/06/23

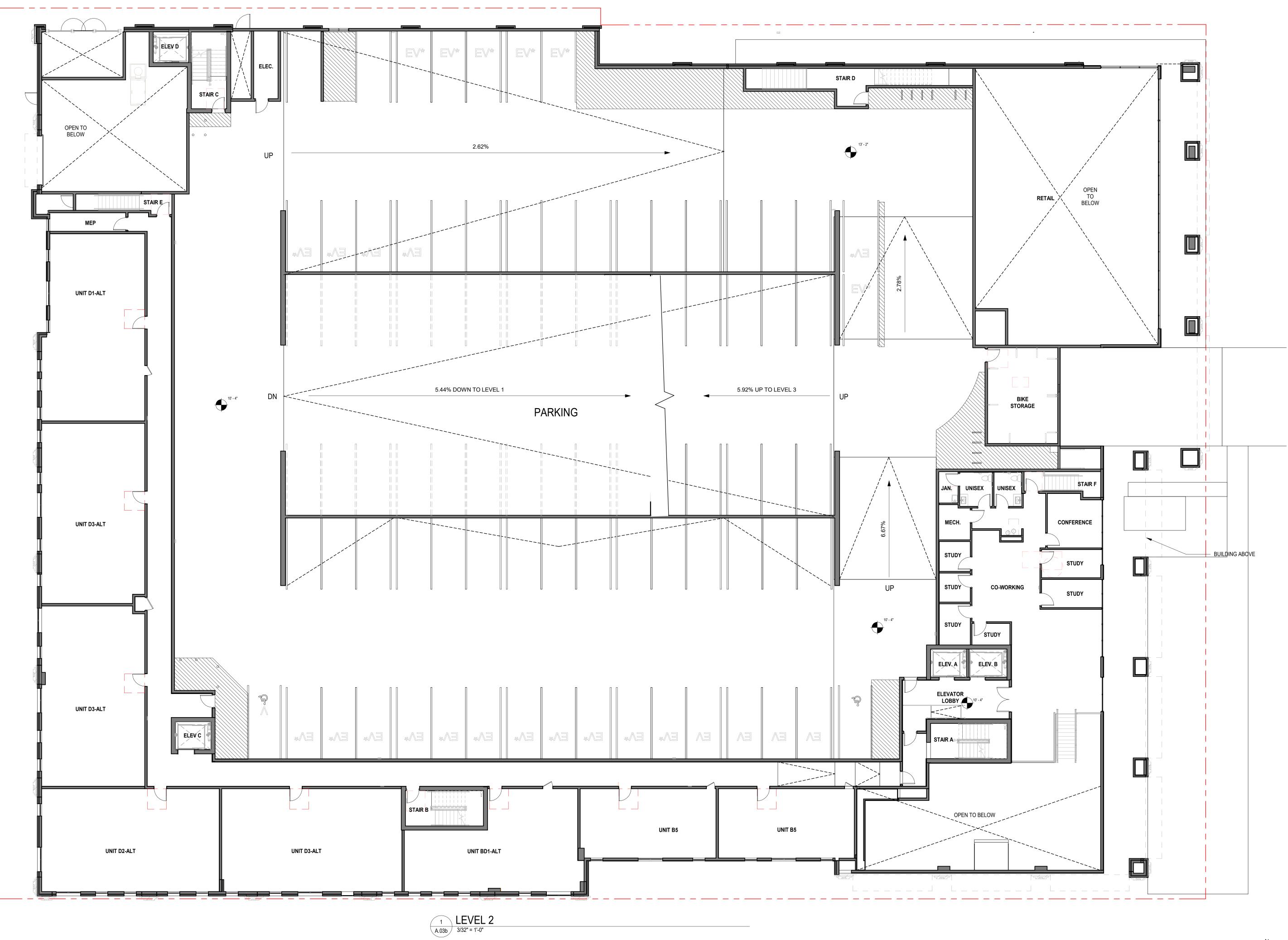






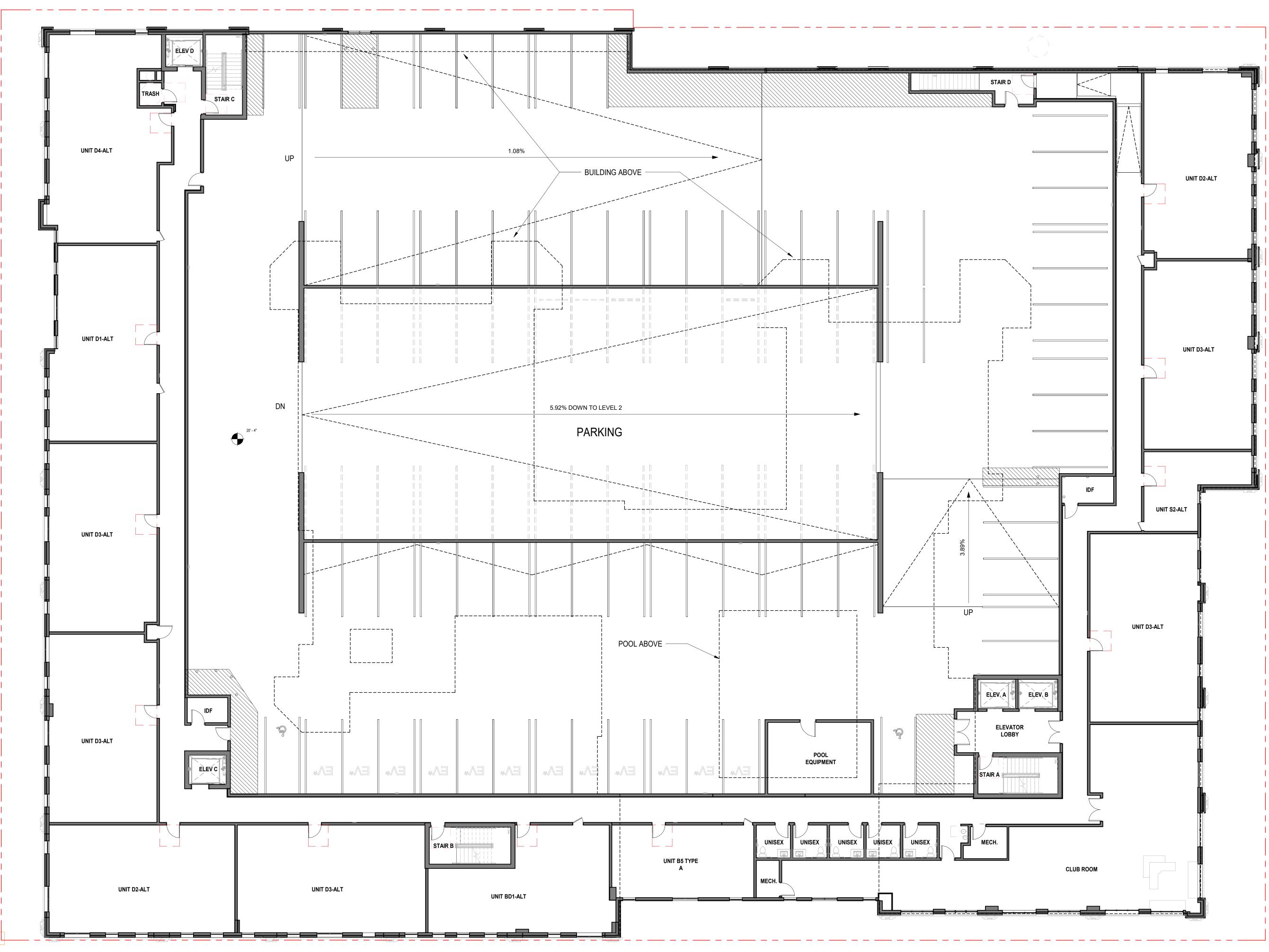














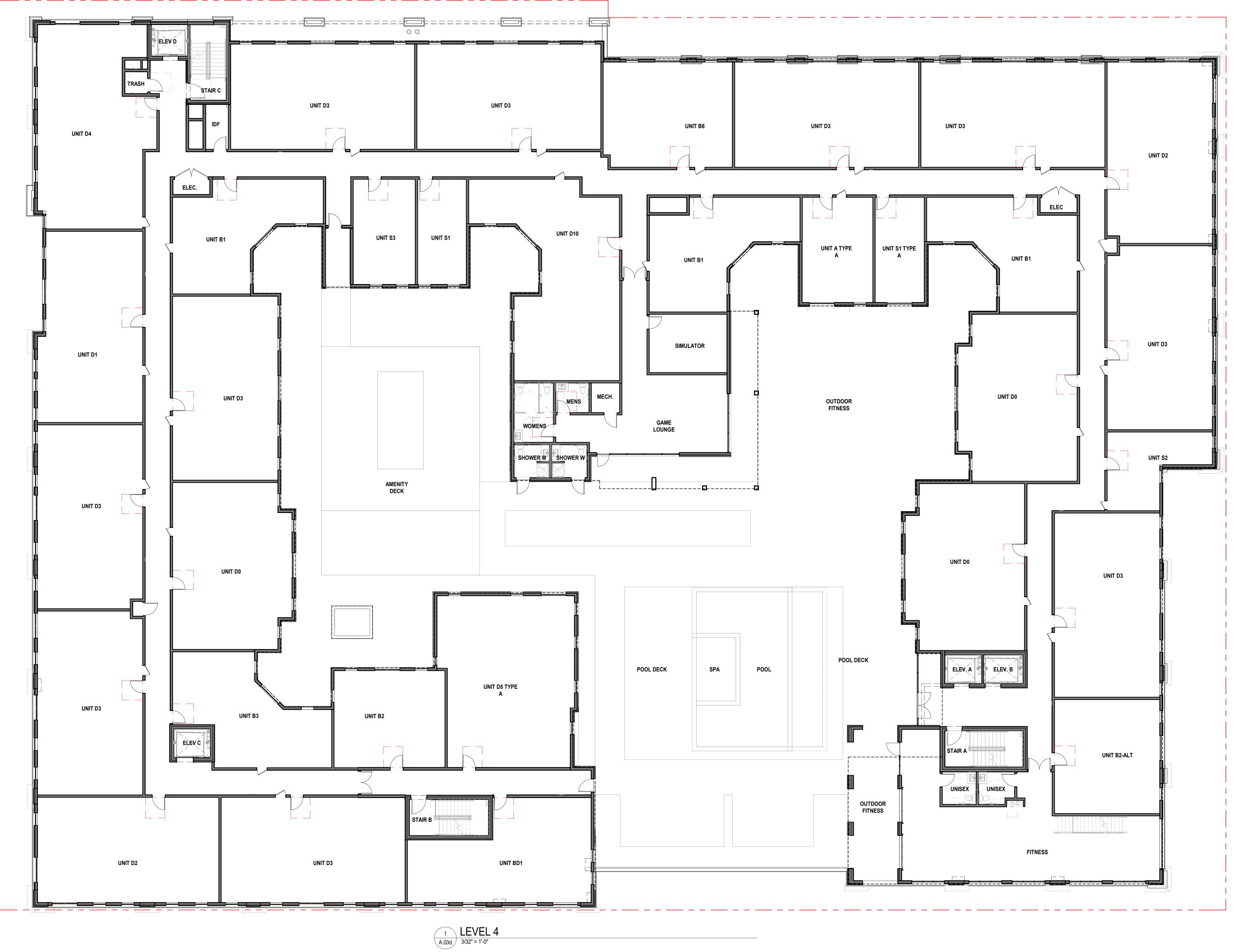
TROLLEY NORTH

2367.08

03/06/23

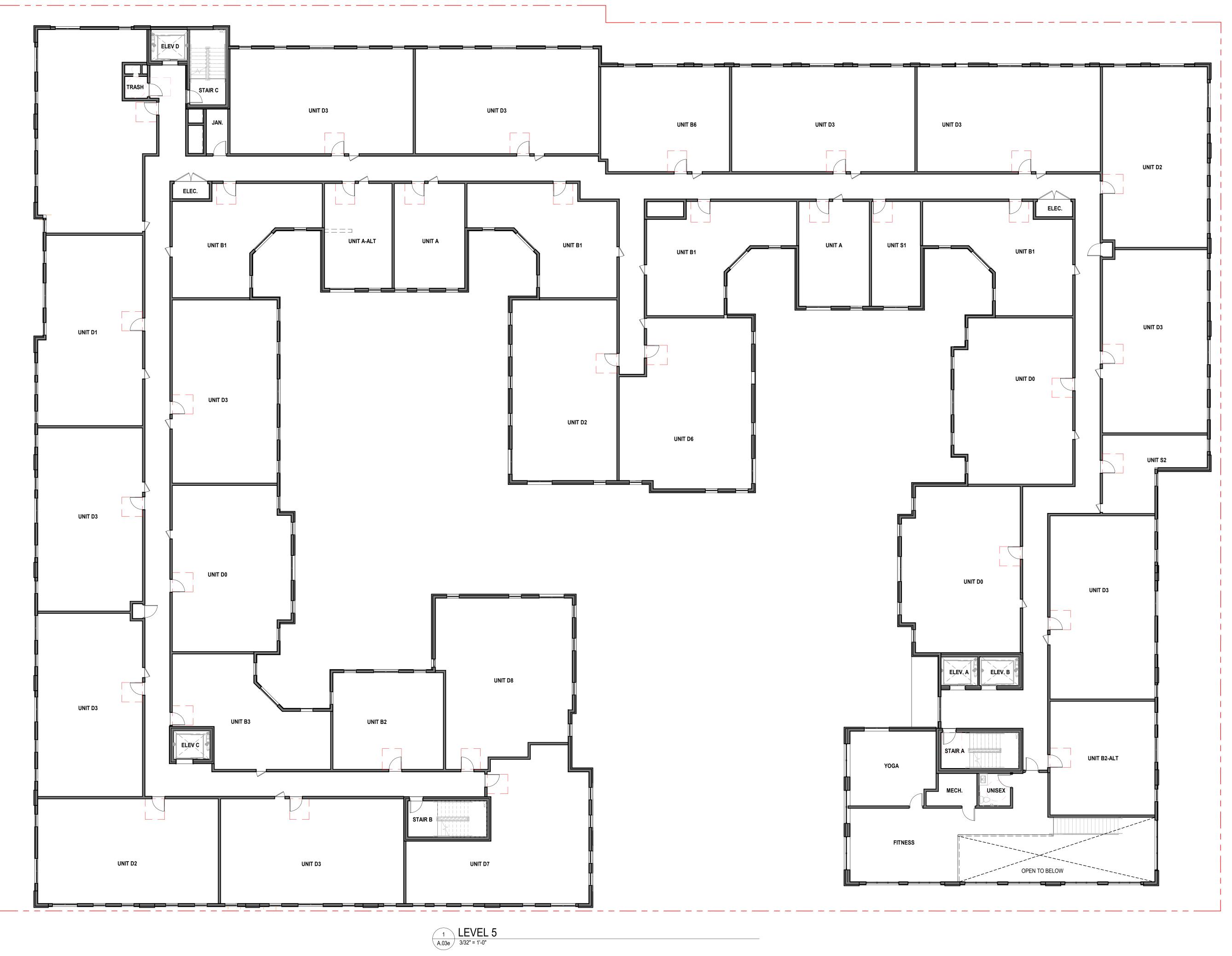
1 LEVEL 3 A.03c 3/32" = 1'-0"













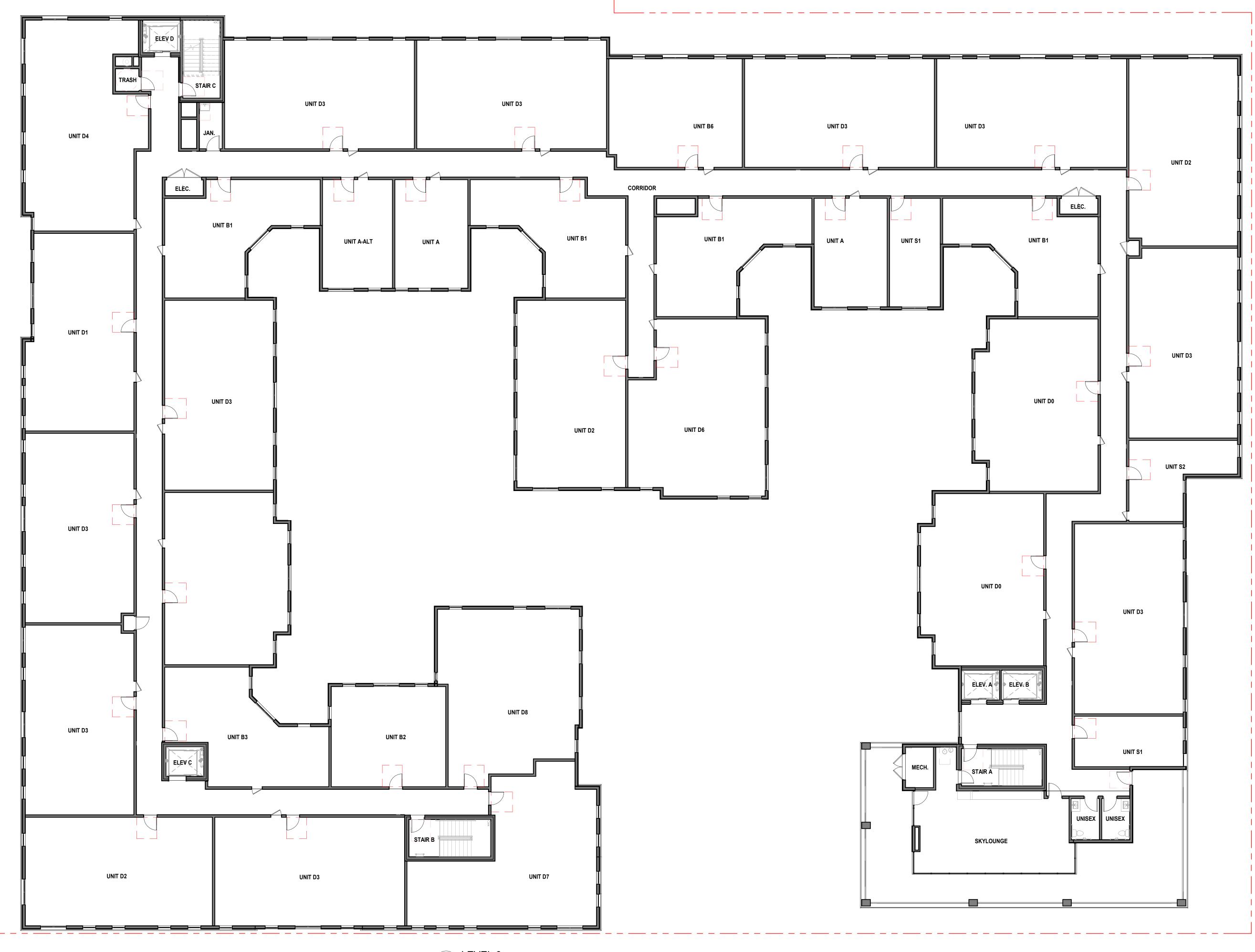










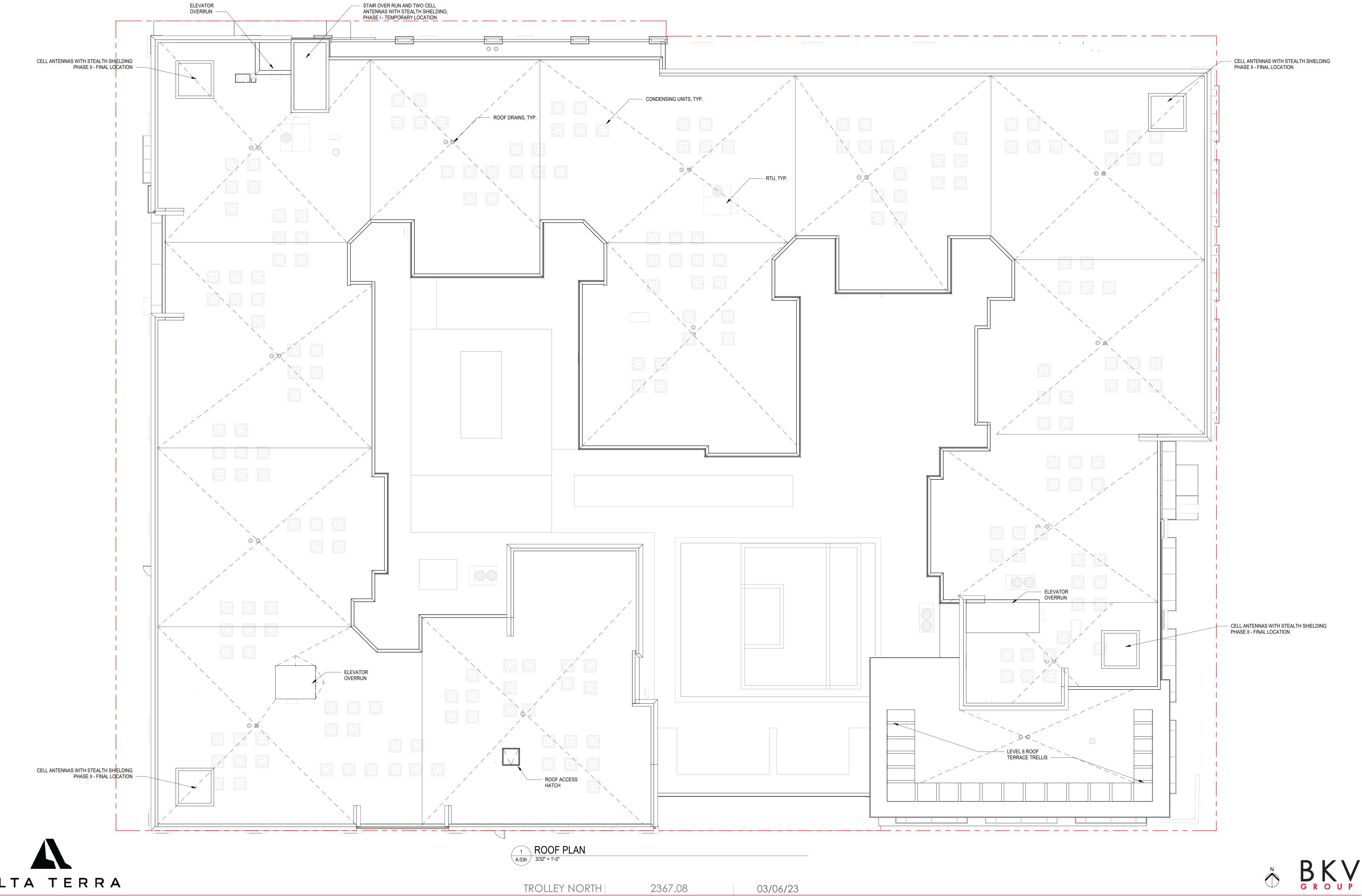




1 LEVEL 8 A.03g 3/32" = 1'-0"



## ROOF



ALTA TERRA

#### 700 S STREETSCAPE

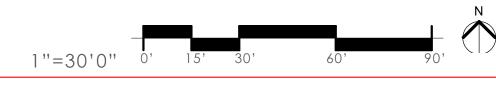




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				H			HEI	GHT: 57-8"			Ì					i			E		
												-			=					HEIGHT: 47-8	
			GHT: 37-6			-			-			-		HEIGHT	37-6				Ⅲ.		
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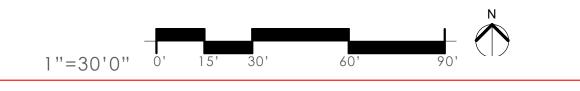


**500 S STREETSCAPE** 

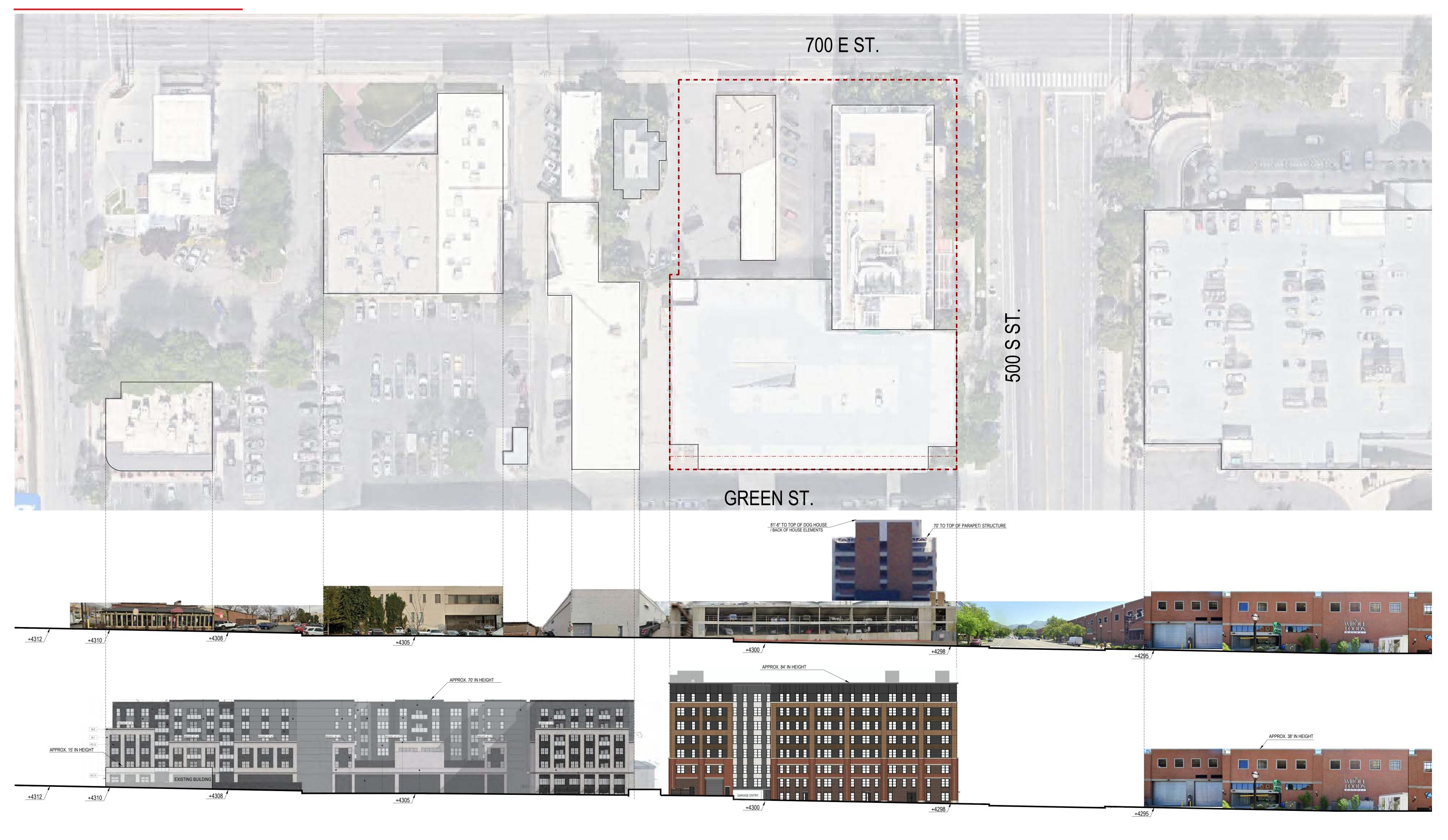








### **GREEN ST. STREETSCAPE**





TROLLEY NORTH



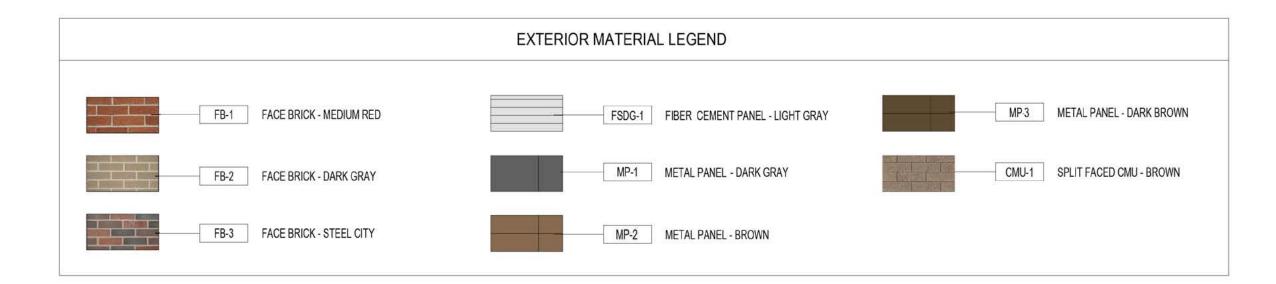
1"=30'0" 0' 15' 30' 60' 90'

#### **SOUTH ELEVATION**

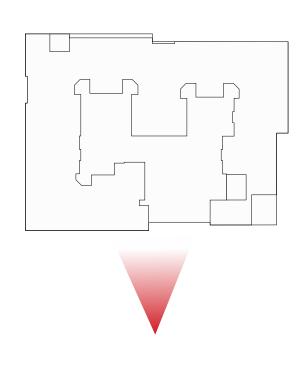


#### ARCHITECTURAL KEYNOTES

- AE01 PREFINISHED METAL COPING
- AE02 CAST STONE COPING AE04 PREFABRICATED CANOPY
- AE07 ALUMINUM GLASS RAILING
- AE09 FB-1 SOLDIER BRICK COURSING
- AE10 ROOF TOP UNIT; REF. MECHANICAL
- AE11 INTAKE LOUVER FOR LEVEL P1 PARKING GARAGE VENTILATION AND CONDENSER UNIT SCREEN
- AE18 BUILDING SIGNAGE AE19 AIR INTAKE LOUVER
- AE22 CELL ANTENNAS WITH STEALTH SHIELDING
- AE23 STAIR OVER RUN









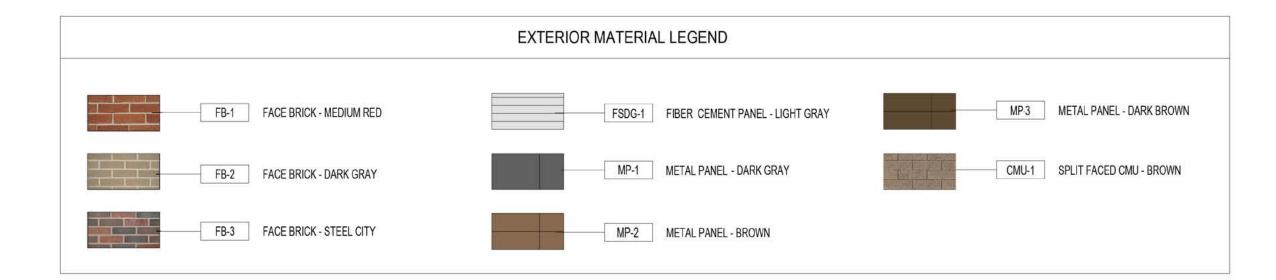


#### EAST ELEVATION

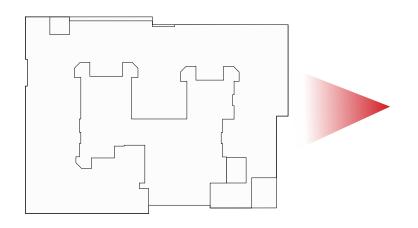


#### ARCHITECTURAL KEYNOTES

- AE01 PREFINISHED METAL COPING
- AE02 CAST STONE COPING AE04 PREFABRICATED CANOPY
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- AE23 STAIR OVER RUN









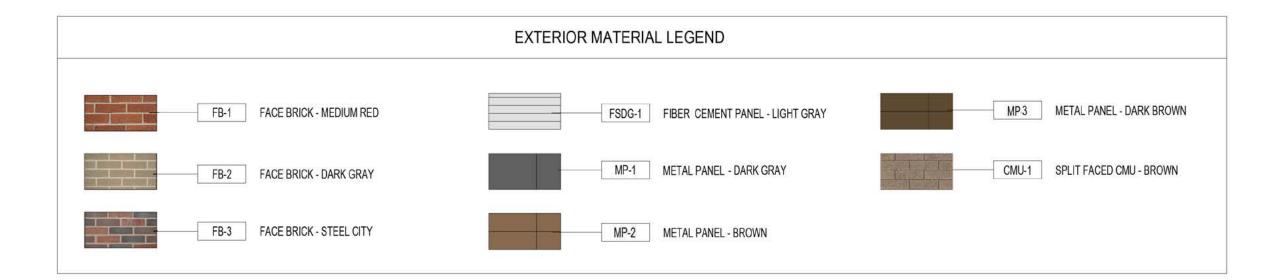


#### **NORTH ELEVATION**

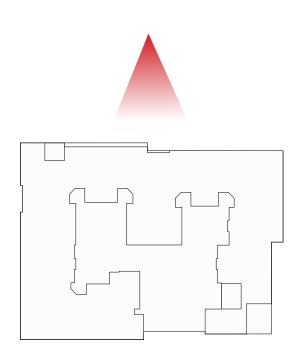


#### ARCHITECTURAL KEYNOTES

- AE01 PREFINISHED METAL COPING
- AE02 CAST STONE COPING AE04 PREFABRICATED CANOPY
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- AE09 FB-1 SOLDIER BRICK COURSING
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- AE18 BUILDING SIGNAGE AE19 AIR INTAKE LOUVER
- AE22 CELL ANTENNAS WITH STEALTH SHIELDING
- AE23 STAIR OVER RUN









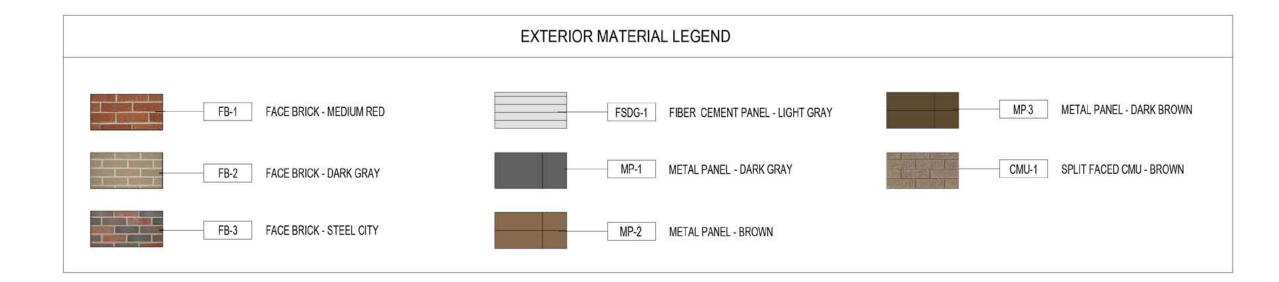


#### WEST ELEVATION



#### ARCHITECTURAL KEYNOTES

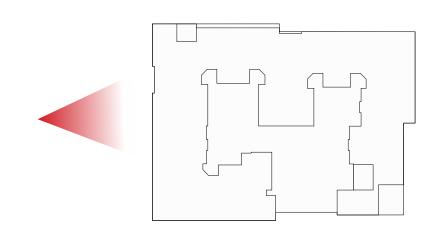
- AE01 PREFINISHED METAL COPING
- AE02 CAST STONE COPING AE04 PREFABRICATED CANOPY
- AE07 ALUMINUM GLASS RAILING
- AE09 FB-1 SOLDIER BRICK COURSING
- AE10 ROOF TOP UNIT; REF. MECHANICAL
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- AE18 BUILDING SIGNAGE AE19 AIR INTAKE LOUVER
- AE22 CELL ANTENNAS WITH STEALTH SHIELDING
- AE23 STAIR OVER RUN

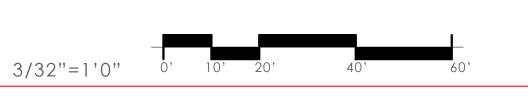




TROLLEY NORTH

03/06/23



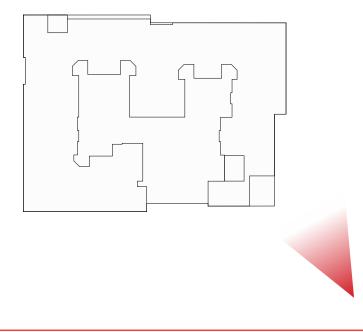




#### **STREETSCAPE RENDERING 1**





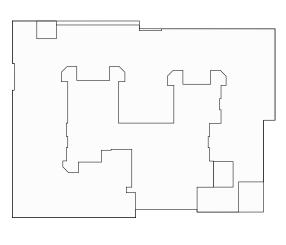




**STREETSCAPE RENDERING 2** 







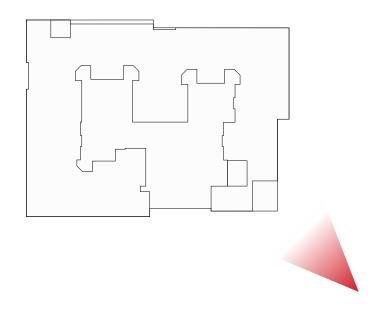


#### 500 S & 700 E CORNER RENDERING





03/06/23

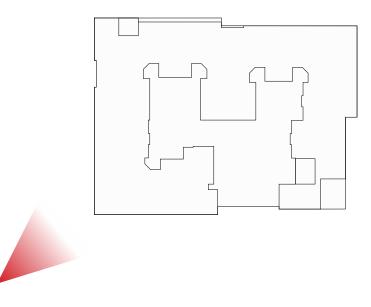




#### GREEN ST. & 500 S CORNER RENDERING





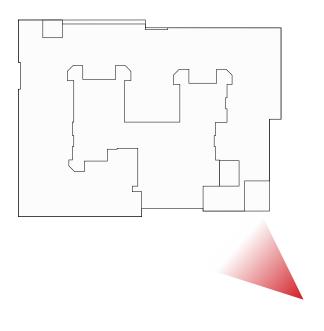




#### **500 S RENDERING**







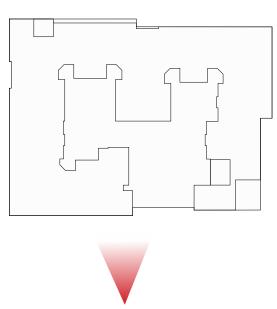






TROLLEY NORTH

03/06/23



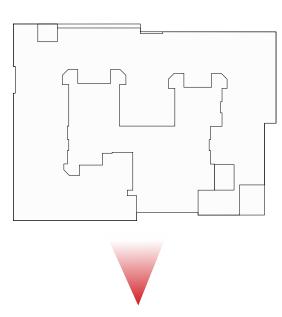


### **COURTYARD RENDERING**





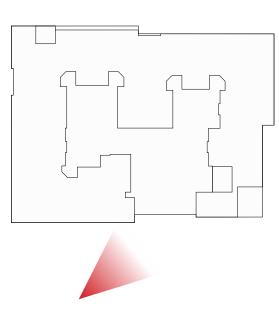
03/06/23









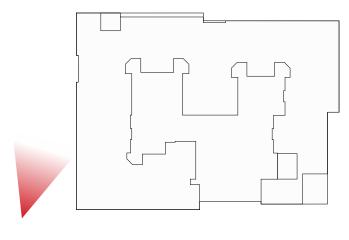




#### **GREEN ST. RENDERING**



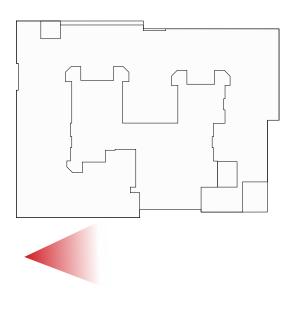








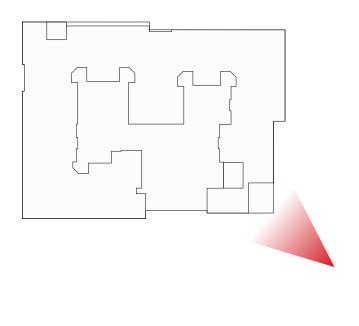








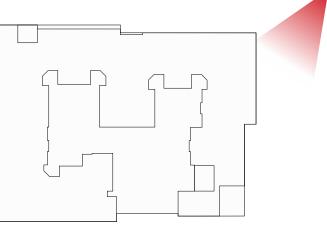








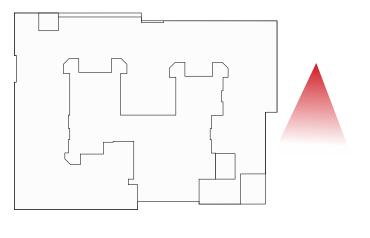








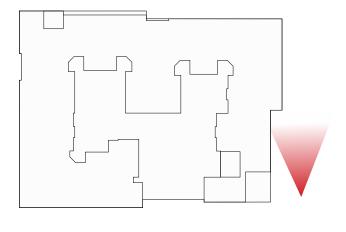










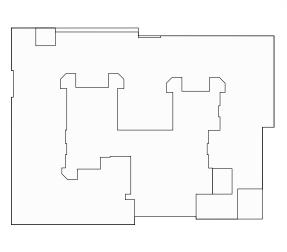




### **AERIAL RENDERING 1**









#### **AERIAL RENDERING 2**





